

Selwyn Street Industrial

Concept Design

Project Location:
20 Selwyn Street Mayfield East 2304

Client:
JBC Family Trust

Drawing Catalogue: (survey by others)

SK-000	Cover
SK-001	Site Analysis Plan
SK-002	Site Plan
SK-003	Site Plan 1:250
SK-004	Ground Floor Plan
SK-005	Roof Plan
SK-006	Elevations
SK-007	Elevations
SK-008	Section A-A



SUBJECT SITE - NTS



LOCATION - NTS



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 24/14866

Approved on: 1 April 2025

Signed: BM


Sheet No: 1 of 19

Site Information

Client	JBC Family Trust
Site Address	20 Selwyn Street Mayfield East 2304 Sec -, Lot 1, DP 581002, SP -
LGA	Newcastle
Land Zoning	SP1
Precinct	Limited
FSR/Site Coverage	NA
Maximum Height	NA
Flood Area	NA
Mine Subsidence Area	NA
Bushfire Area	NA
Heritage Area	NA

SHADE

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Department of Planning,
Housing and Infrastructure

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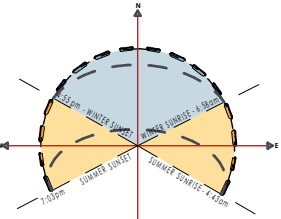
Approved Application No: DA 24/14866

Approved on: 1 April 2025

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Sheet No: 2 of 19

LEGEND

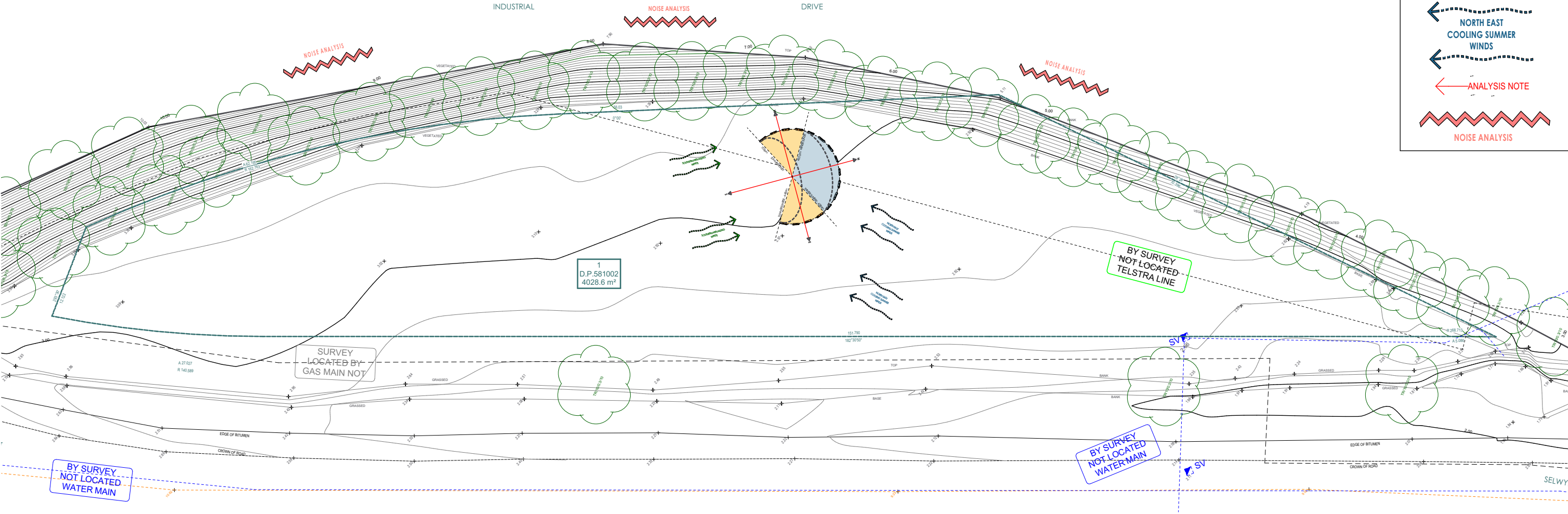


SOUTHERN PREVAILING WINDS

NORTH EAST COOLING SUMMER WINDS

ANALYSIS NOTE

NOISE ANALYSIS

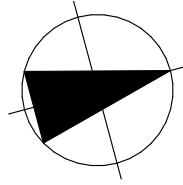


The main site analysis plan shows a plan view of the site. At the top, there is an 'INDUSTRIAL DRIVE' with a 'NOISE ANALYSIS' indicated by a red zigzag line. Below the drive, there is a large area of 'VEGETATION' represented by green circles. A central circular feature shows a wind rose diagram. To the right, there is a 'BY SURVEY NOT LOCATED TELSTRA LINE' and a 'BY SURVEY NOT LOCATED WATER MAIN'. The bottom of the plan shows 'EDGE OF BITUMEN' and 'CROWN OF ROAD' lines. A small box in the center indicates '1 D.P.581002 4028.6 m²'. The plan also shows various survey points and lines, including 'A 27.727 R 142.585' and '151.780 182°30'52"'. The bottom right corner shows 'SELWYN'.

1:500	SITE ANALYSIS
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Project
Selwyn Street Industrial
20 Selwyn Street Mayfield East 2304

Client
JBC Family Trust



Drawing
Site Analysis Plan

Drawing No.
SK-001

Project Number
2253

Scale
As Shown @ A3

Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

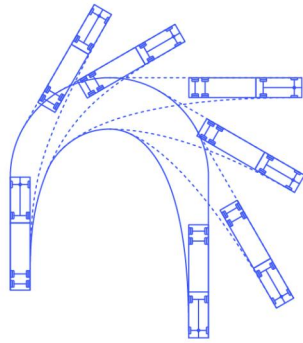
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Dimensions.Guide
Semi-Trailer Truck (40' WB) Turning Paths





DIAL 1100
BEFORE YOU DIG

NOTES:

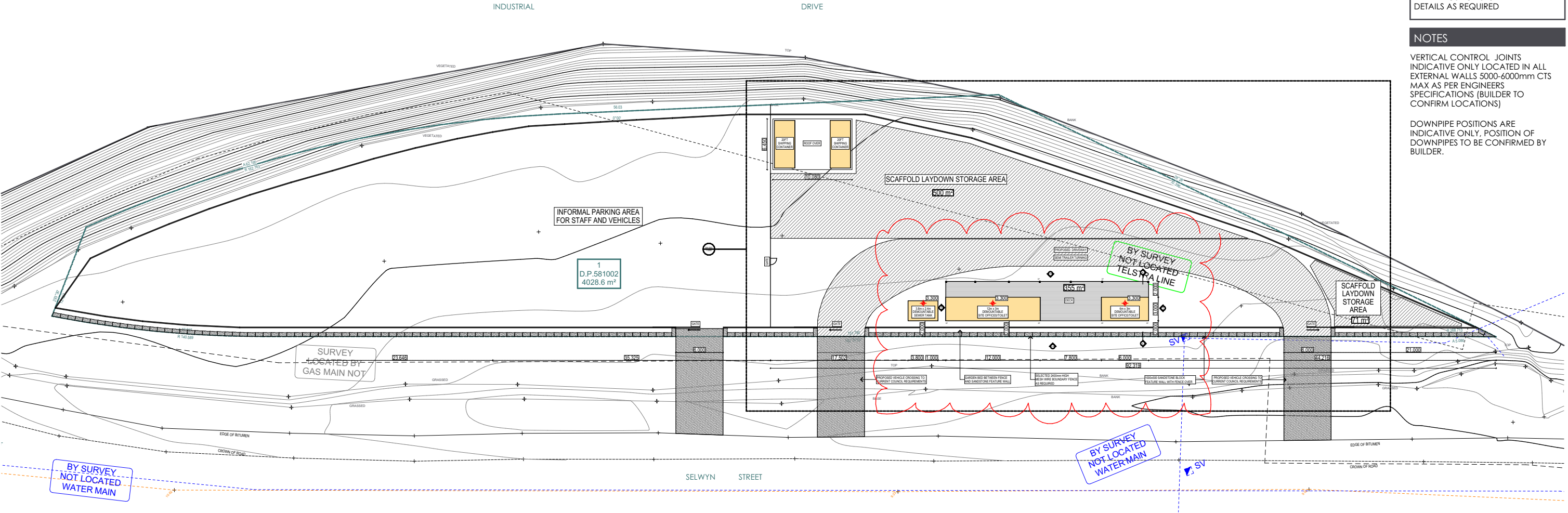
- SETBACKS ARE APPROXIMATES ONLY & BASED OF CURRENT SURVEYORS DOCUMENTATION AT THE TIME OF BEING ISSUED TO THE DESIGNER WITH THE CONCEPT DESIGNS
- ALL SITE BOUNDARIES ARE TO BE CONFIRMED BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION
- ALL SETBACKS ARE TO BE CONFIRMED ON SITE BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION
- ANY SITE/SURVEY DISCREPANCIES ARE TO BE REPORTED TO SHADE DESIGN NEWCASTLE PTY LTD IMMEDIATELY

SURVEY BY OTHERS


- NOTES:**
- BUILDER TO CONFIRM LEVELS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE BUILDING DESIGNER BEFORE CONSTRUCTION.
 - USE FIGURED DIMENSIONS ONLY. **DO NOT** SCALE FROM DRAWINGS
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 - BUILDER AND/OR CERTIFYING AUTHORITY TO NOTIFY BUILDING DESIGNER JOEL COLEMAN OF ANY DISCREPANCIES PRIOR TO APPROVAL.
 - DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER. ALL LOCATIONS AND POSITIONS TO COMPLY WITH BCA SECTION 3.5.3 TO BE CONFIRMED BY BUILDER & READ IN CONJUNCTION WITH HYDRAULIC ENGINEERS DETAILS & SPECIFICATION.

LEGEND	
Site Area	4028.6m ²
Total Floor Area (GFA)	NA
Floor Space Ratio (0.0 Max, = -m ²)	NA
SP1 - Limited Growth	
Landscape Area (00% Min Req. = -m ²)	NA
Deep Soil Area (00% Min Req.)	NA
STORMWATER	
PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS AS REQUIRED	

- NOTES**
- VERTICAL CONTROL JOINTS INDICATIVE ONLY LOCATED IN ALL EXTERNAL WALLS 5000-6000mm CTS MAX AS PER ENGINEERS SPECIFICATIONS (BUILDER TO CONFIRM LOCATIONS)
- DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.



1:500	Site Plan
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Housing and Infrastructure**

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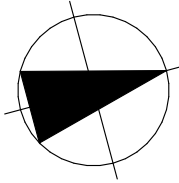
Approved on: 1 April 2025

Signed: BM

Sheet No: 3 of 19

Project
Selwyn Street Industrial
20 Selwyn Street Mayfield East 2304

Client
JBC Family Trust



Drawing
Site Plan

Drawing No.
SK-002

Project Number
2253

Scale
As Shown @ A3

Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

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SURVEYOR TO PROVIDE
DETAILED DOCUMENTATION



Department of Planning,
Housing and Infrastructure

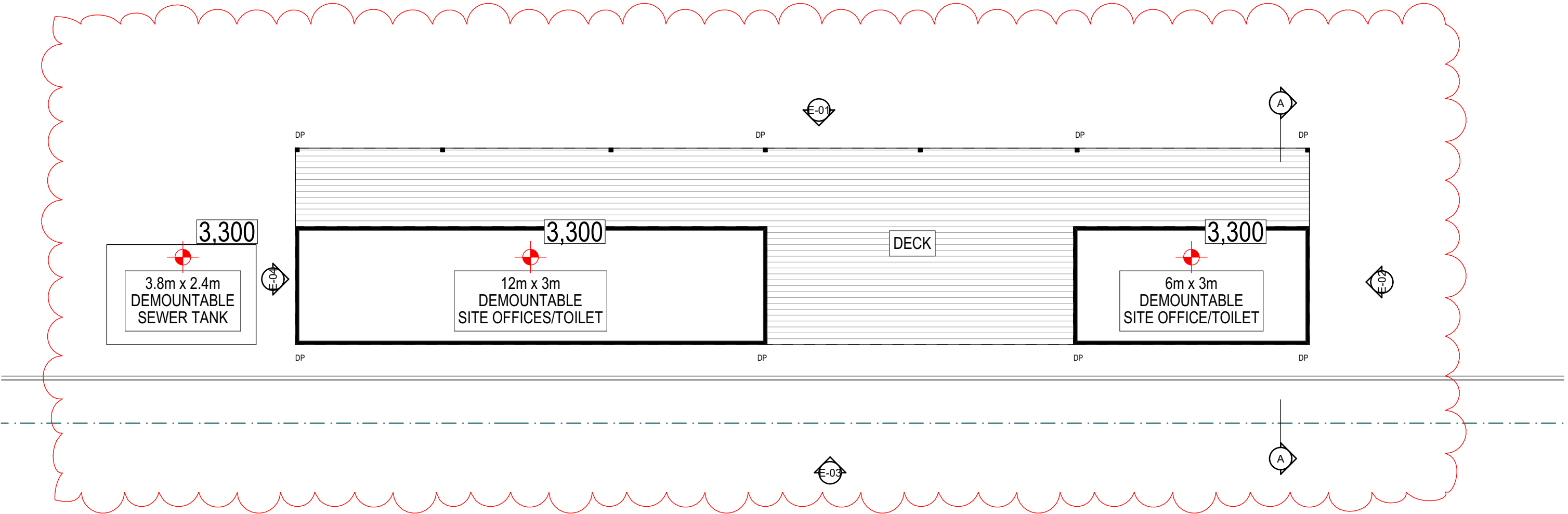
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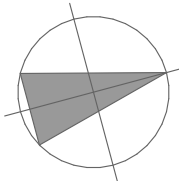
Sheet No: 5 of 19



	Ground Floor Plan
1:100	

Project
Selwyn Street Industrial
20 Selwyn Street Mayfield East 2304

Client
JBC Family Trust



Drawing
Ground Floor Plan


Drawing No.
SK-004

Project Number
2253

Scale
As Shown @ A3

Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

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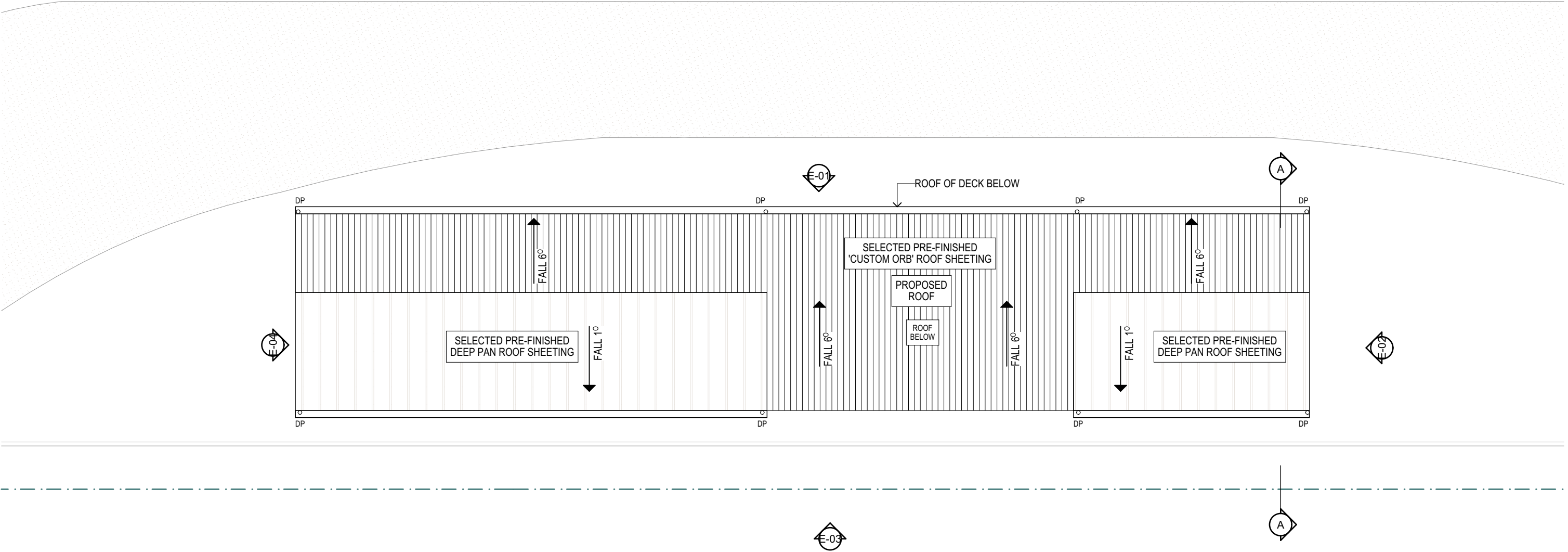


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1:100	Roof Plan
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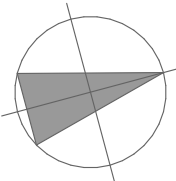


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Approved on: 1 April 2025
Signed: BM
Sheet No: 6 of 19

Project
Selwyn Street Industrial
20 Selwyn Street Mayfield East 2304

Client
JBC Family Trust



Drawing
Roof Plan


Drawing No.
SK-005

Project Number
2253

Scale
As Shown @ A3

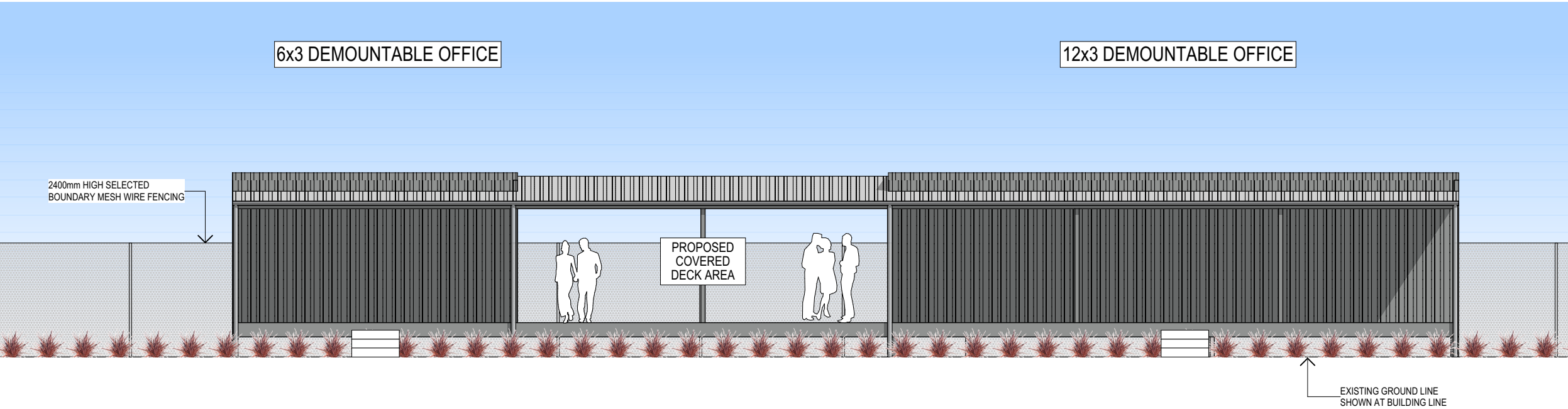
Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

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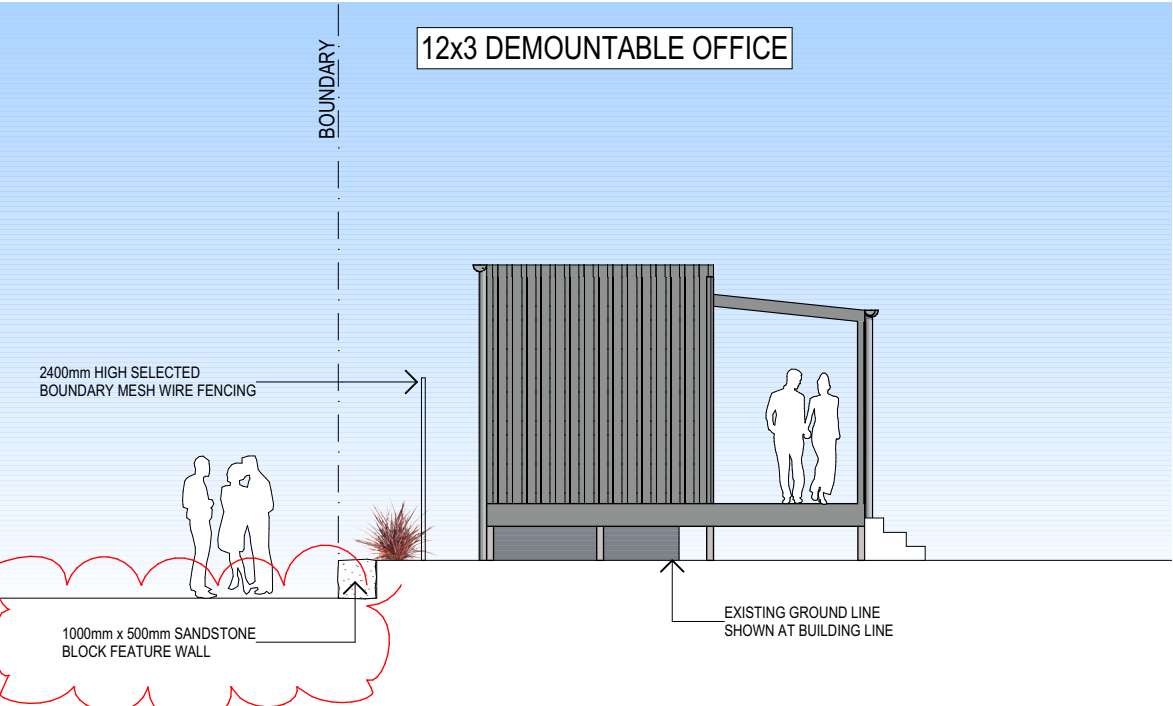


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E-01	NORTH ELEVATION
1:100	



E-02	EAST ELEVATION
1:100	


LEGEND

- SELECTED COLORBOND CUSTOM ORB METAL ROOF SHEETING
- SELECTED FACE BRICKWORK
- SELECTED WEATHERBOARD CLADDING TO LIGHTWEIGHT STRUCTURE
- SELECTED LIGHTWEIGHT VERTICAL WALL CLADDING
- SELECTED APPLIED FINISH

NOTES

VERTICAL CONTROL JOINTS INDICATIVE ONLY LOCATED IN ALL EXTERNAL WALLS 5000-6000mm CTS MAX AS PER ENGINEERS SPECIFICATIONS (BUILDER TO CONFIRM LOCATIONS)

DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPipes TO BE CONFIRMED BY BUILDER.



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Sheet No: 7 of 19

CONFIRM BUILDING DIMENSIONS PRIOR TO & DURING CONSTRUCTION

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Project
Selwyn Street Industrial
20 Selwyn Street Mayfield East 2304

Client
JBC Family Trust

Drawing
Elevations


Drawing No.
SK-006

Project Number
2253

Scale
As Shown @ A3

Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

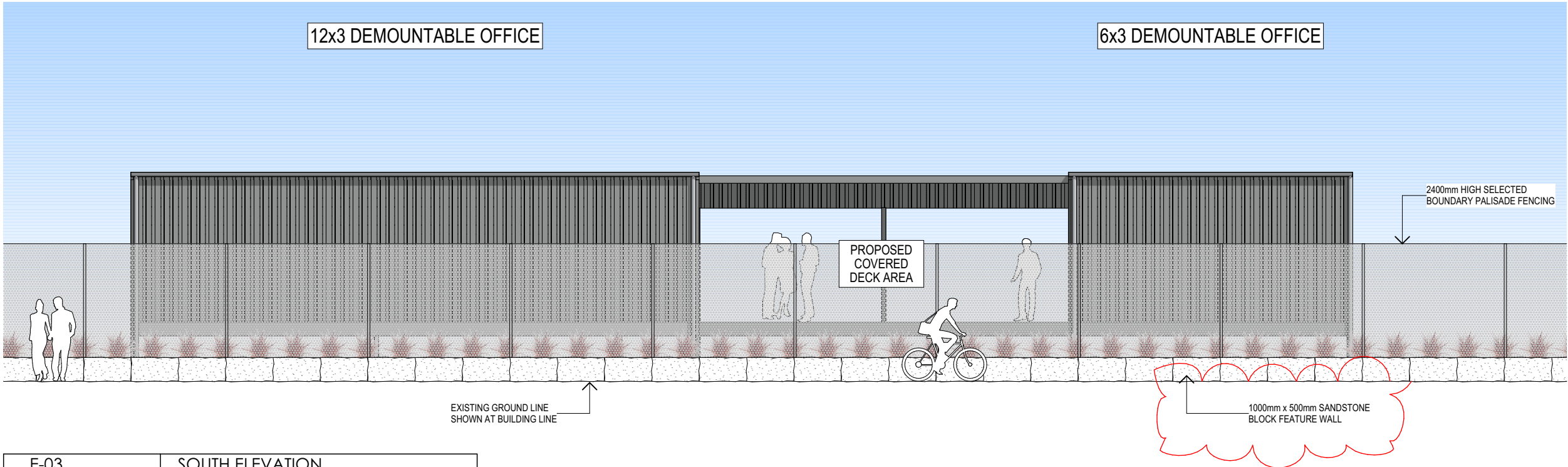
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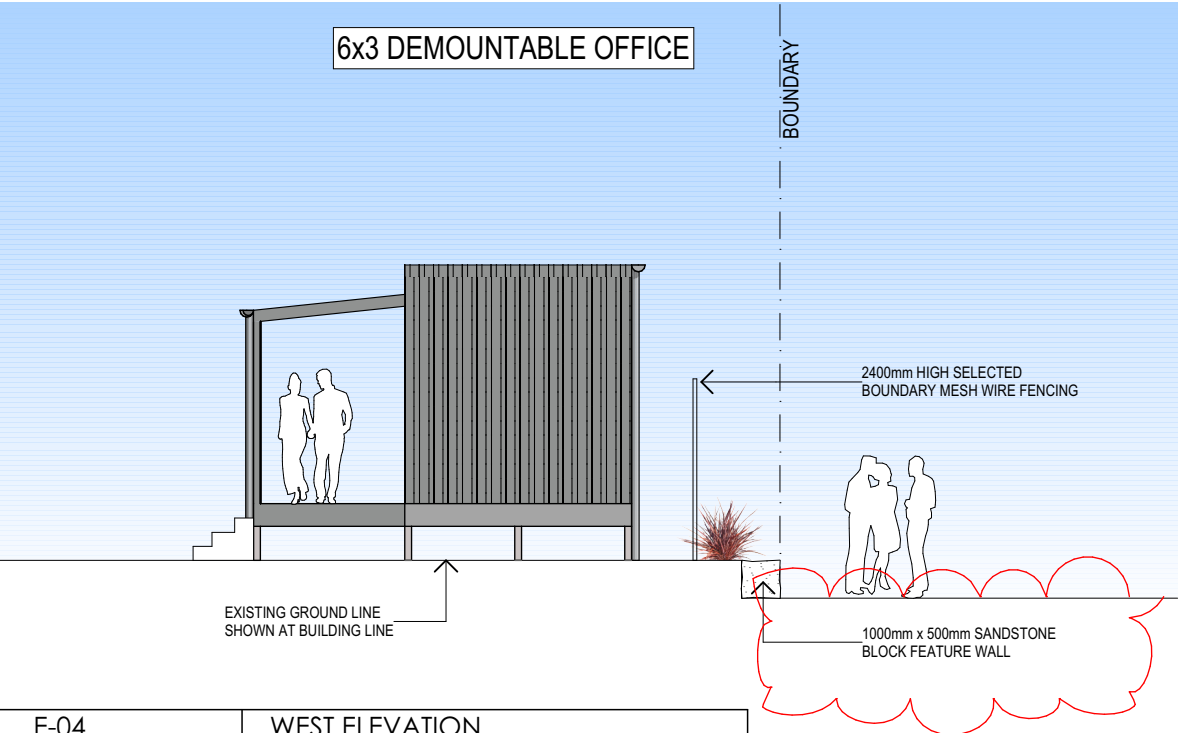
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E-03	SOUTH ELEVATION
1:100	



E-04	WEST ELEVATION
1:100	

LEGEND

- SELECTED COLORBOND CUSTOM ORB METAL ROOF SHEETING
- SELECTED FACE BRICKWORK
- SELECTED WEATHERBOARD CLADDING TO LIGHTWEIGHT STRUCTURE
- SELECTED LIGHTWEIGHT VERTICAL WALL CLADDING
- SELECTED APPLIED FINISH

NOTES

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Sheet No: 8 of 19

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Project

Selwyn Street Industrial

20 Selwyn Street Mayfield East 2304

Client

JBC Family Trust

Drawing

Elevations

Drawing No.

SK-007

Project Number

2253

Scale

As Shown @ A3

Revision	Description	Date
A	Council Submission	12.12.22
B	RFI Amendment	26.07.23
C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

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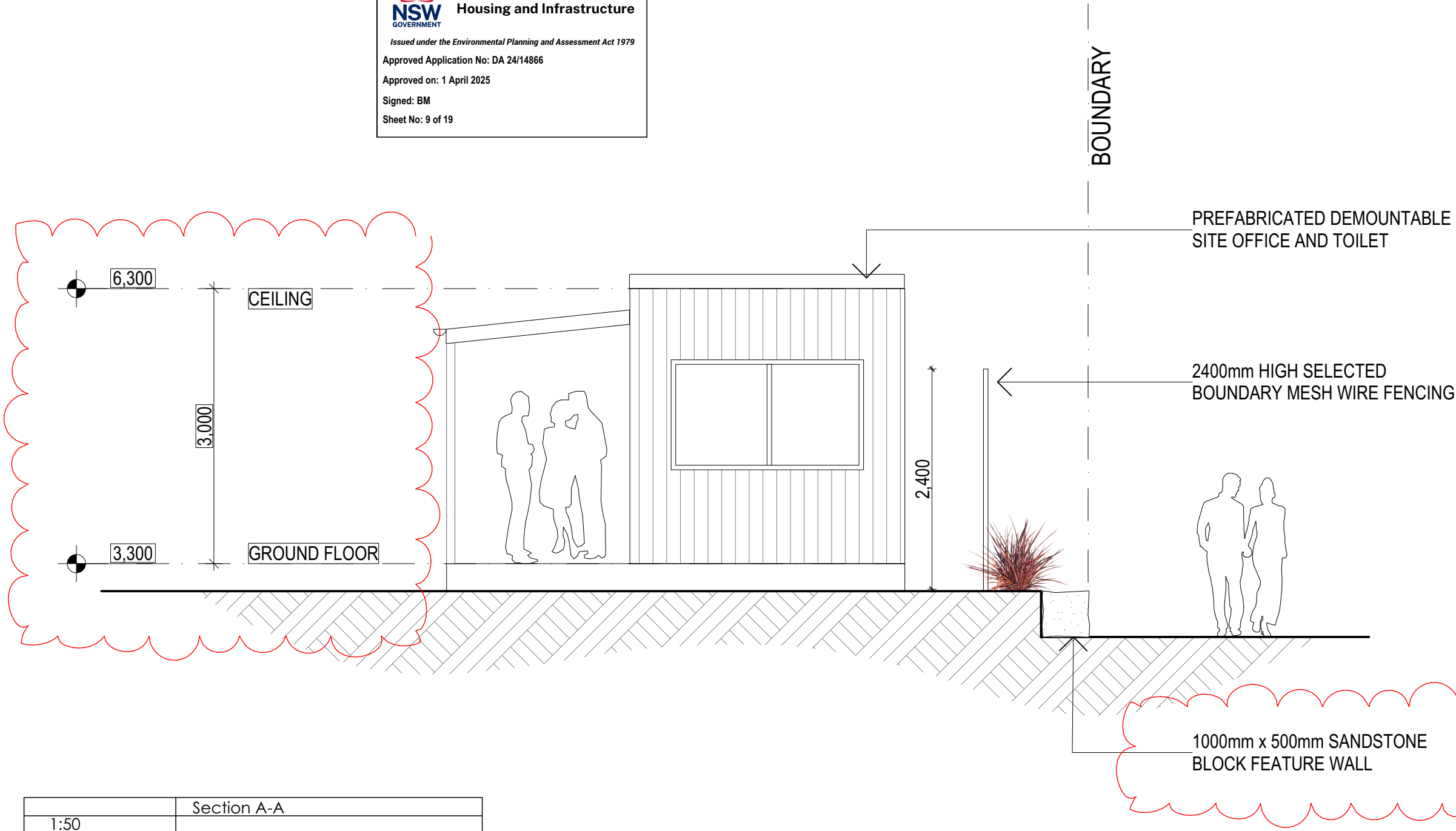
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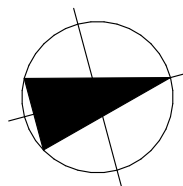
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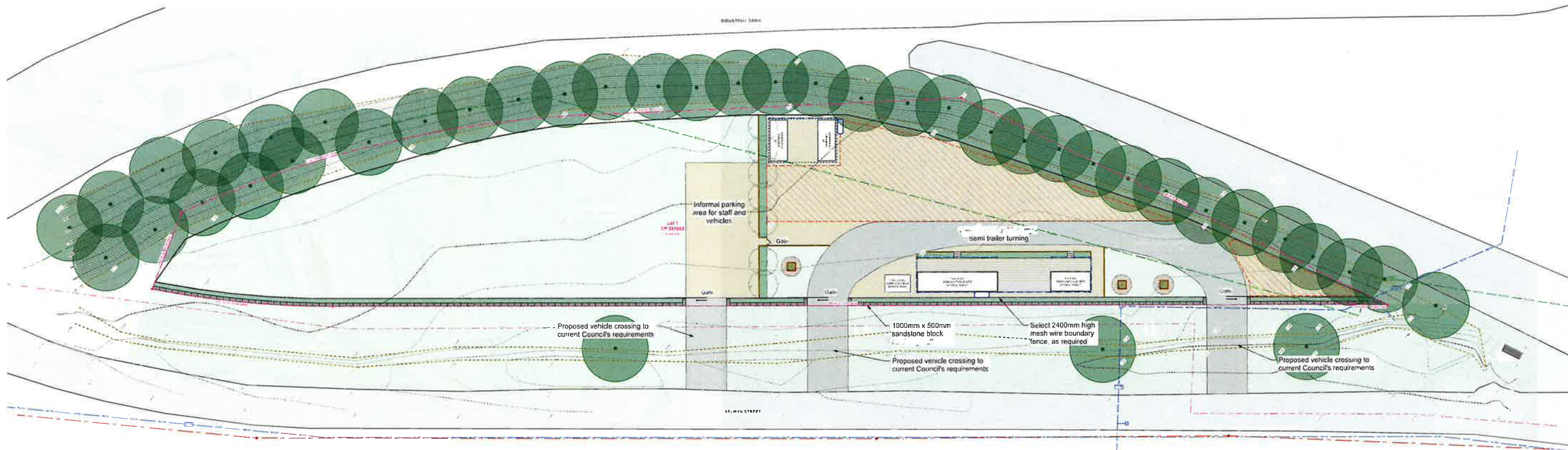
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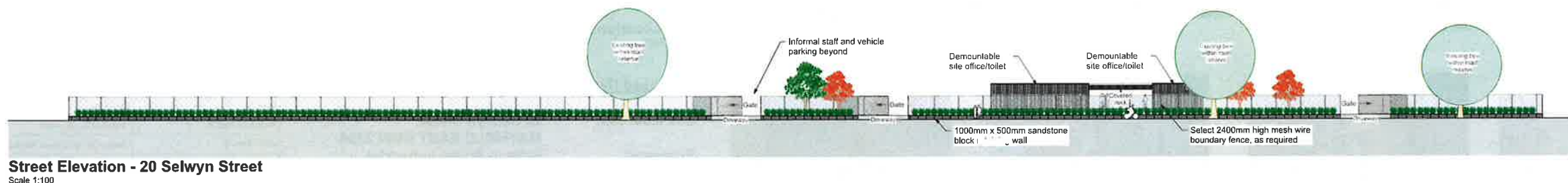


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A	Council Submission	12.12.22
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C	RFI Amendment	25.09.24
D	RFI Amendment	22.11.24

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Site Plan - Landscape Concept Plan
Scale 1:300



Street Elevation - 20 Selwyn Street
Scale 1:100

Legend	
Existing Site	
	Property boundary
	Spot height
	Contour (interval 0.2m)
Proposed Site Works	
Civil Works	
	Tree to be retained
	Tree to be removed
Finishes/Materials	
	Concrete driveway (refer to architect's documentation)
	1000mm x 500mm sandstone block (refer to architect's documentation)
	Consolidated gravel roadbase (refer to architect's documentation)
	Timber decking (refer to architect's documentation)
	Turf/grass areas (refer to Detail on Sheet DA04)
	Scaffold laydown storage area (refer to architect's documentation)
	Mass planting beds (refer to Planting Plans on Sheets DA03 & Details on Sheet DA04)
	Timber garden/crushed rhyolite edging (refer to Detail on Sheet DA04)
	Select 2400mm high mesh wire boundary fence, as required (refer to architect's documentation)
	1800mm high mesh wire fencing (refer to architect's documentation)
	Proposed tree (refer to Planting Plans on Sheets DA03 & Details on Sheet DA04)
Drainage	
	Reuse water tank
	Stormwater piping

Legend	
Existing Services	
	Water main
	Section Valve/Scour
	Overhead power/Pole
	Comms line
	Gas main
	Stormwater pit

 **Department of Planning,
Housing and Infrastructure**
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 24/14866
Approved on: 1 April 2025
Signed: BM
Sheet No: 10 of 19

Associated Documentation	
• Architectural drawing set:	
- by:	Shade Design
- contact:	joel@shadedesign.net.au 0412 879 643 (m)
• Existing Site Survey:	
- by:	Land Development Solutions
- contact:	mail@lds.net.au (02) 4963 5520
- postal:	PO Box 853 THE JUNCTION NSW 2291
• Stormwater Management Plans:	
- by:	Land Development Solutions
- contact:	mail@lds.net.au (02) 4963 5520
- postal:	PO Box 853 THE JUNCTION NSW 2291



Scale (1:300)
0 5 10 15 20 25 M

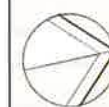
DEVELOPMENT APPLICATION. NOT FOR CONSTRUCTION.

rev no:	date:	comments:	by:	by:	verified:
0	16/07/2023	Issued for Development Application only. Not for construction.	GE		Yes

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Landscape Consultants Declaration
This project is designed to meet with NCC DCP requirements for Category 2 Landscape Design

Gary Edwards
Bachelor of Landscape Architecture (2000 Canberra)
Certificate of Horticulture (1991 Orange TAFE)



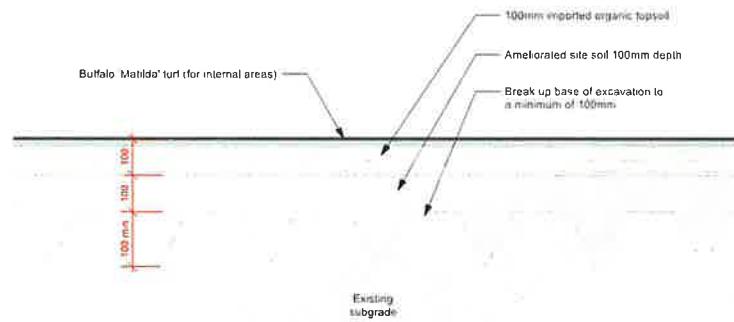
Project
Selwyn Street Industrial
Client
JBC Family Nominees Pty Ltd

Site
20 Selwyn Street
MAYFIELD EAST NSW 2304
Drawing:
Site Plan -
Landscape Concept Plan

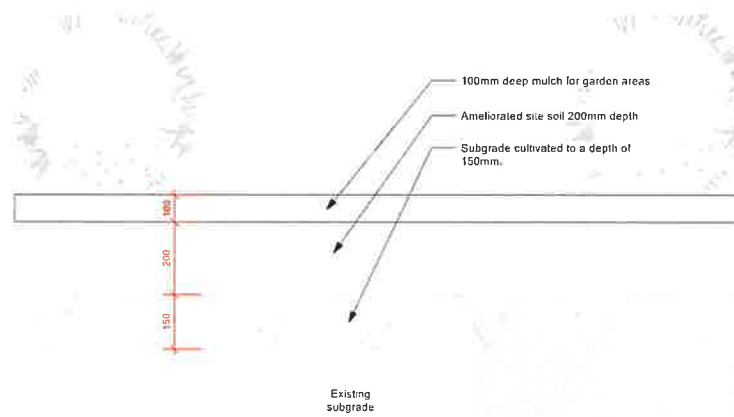


Landscape Architect
Email: thegardencraftsman@gmail.com

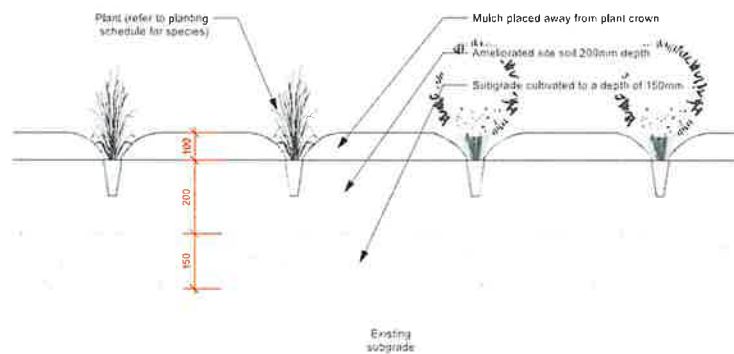
WORK TO FIGURED DIMENSIONS IN REFERENCE TO SCALE CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS.			
Drawn:	Scale: A1:	Page no:	Print date:
GE	1:300	DA02	21/8/23
Concept:	Project no:	Issue no:	
GE	2305HarmanSelwyn	A	



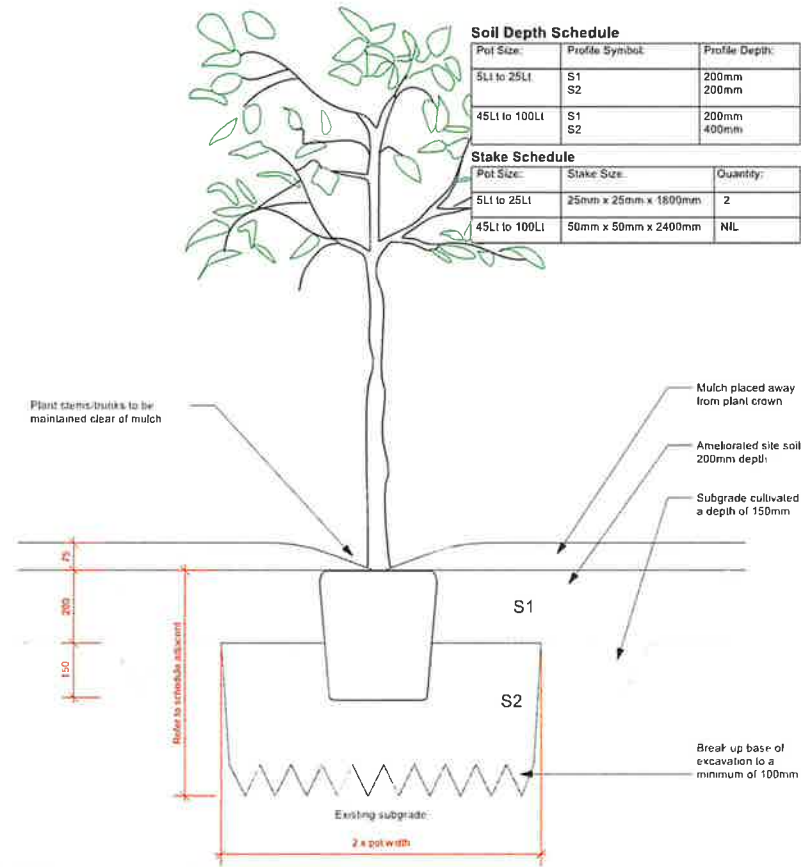
1
04
Typical Detail - Turf Profile
1:10



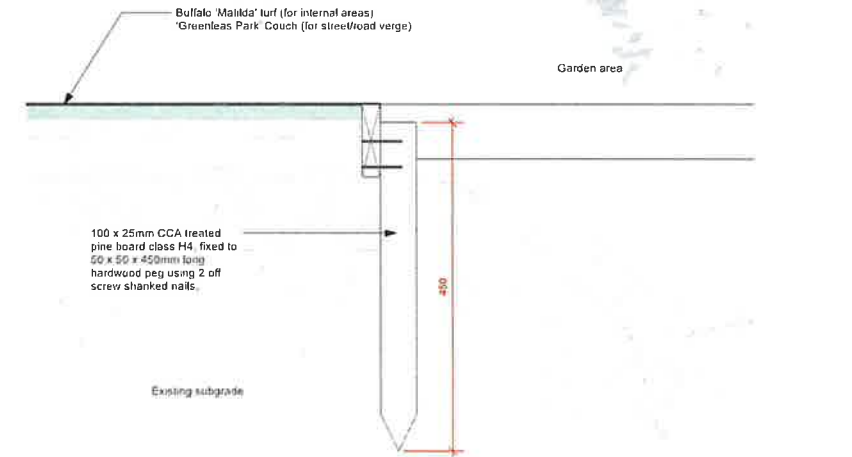
2
04
Typical Detail - Garden Area Profile
1:10



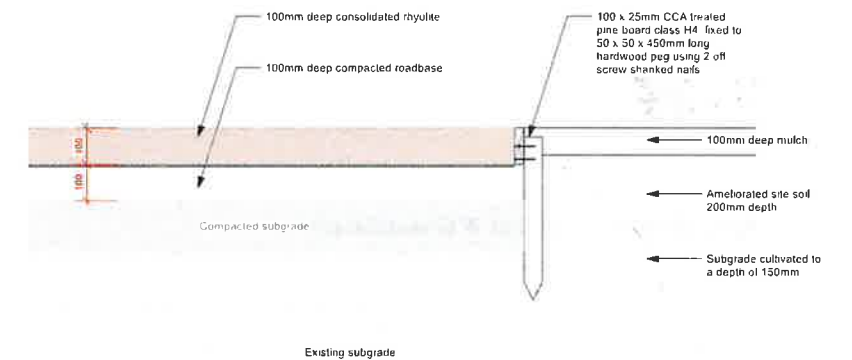
3
04
Typical Detail - Planting Setout
1:10



4
04
Typical Detail - Tree Planting Within Garden Areas
1:10



5
04
Typical Detail - Timber Edging Profile (Turf/Garden)
1:5



6
04
Typical Detail - Consolidated Ryolite Area Profile
1:10

**Department of Planning,
Housing and Infrastructure**

**NSW
GOVERNMENT**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 24/14866

Approved on: 1 April 2025

Signed: BM

Sheet No: 12 of 19



DEVELOPMENT APPLICATION. NOT FOR CONSTRUCTION.

rev no:	date:	comments:	by:	by:	verified:			Project	Site:				
0	16/07/2023	Issued for Development Application only. Not for construction.	GE		Yes			Selwyn Street Industrial	20 Selwyn Street MAYFIELD EAST NSW 2304				
								Client:	Drawing:				
								JBC Family Nominees Pty Ltd	Site Construction Details				

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Landscape Consultants Declaration
This project is designed to meet with NCC DCP requirements for Category 2 Landscape Design
Gary Edwards
Gary Edwards
Bachelor of Landscape Architecture (2009 Carriera)
Certificate of Horticulture (1991 Orange TAFE)

Gary Edwards
The Garden
Craftsman

Landscape Architect
Email: thegardencraftsman@gmail.com

Drawn	Scale & A1:	Page no.	Print date:
GE	Refer to each detail	DA04	21/8/23
Concept	Project no.	Issue no.	
GE	2305HarmanSelwyn	A	

Erosion & Sediment Control Plan or Soil & Water Management Plan

- An Erosion and Sediment Control Plan or Soil and Water Management Plan shall be submitted. The plan shall contain information required for the area of disturbance of the development or its distinct and separate stages in accordance with Development Control Plan 2014.
- The final plan shall include a signed and dated Statement of Compliance stating (in full):
 - a) This plan has been developed, certified and signed off by an appropriately qualified and experienced professional in erosion and sediment control;
 - b) The plan complies with the requirements for the area of disturbance in accordance with Development Control Plan 2014;
 - c) The plan and associated documents, calculations and drawings, have been prepared to a standard which, if properly implemented, shall achieve the water release criteria of 50mg/L of total suspended solids (TSS); and
 - d) All erosion and sediment control measures are in accordance with Development Control Plan 2014.

Hoarding and Construction Site Safety Fencing

- Construction site safety fencing and/or hoarding shall be provided in accordance with WorkCover requirements. Such fencing and/or hoarding shall be erected wholly within the property boundary unless prior approval from Council is obtained.
- Council approval is required to install hoarding, site fencing or overhead protective structures over or adjoining a public place i.e. a footpath or a Public Reserve. No work shall commence until written approval is obtained.

Dial Before You Dig (Advice)

- Prior to commencement of work, the free national community service "Dial Before You Dig" shall be contacted on 1100 regarding the location of underground services in order to prevent injury, personal liability and even death. Enquiries shall provide the property details and the nearest cross street/road.

Erosion and Sediment Control

- The size and location of a sediment trap/basin shall be determined prior to any activities, including demolition which would result in soil disturbance, based on site conditions in accordance with DCP 2014. The sediment trap/basin shall be installed and operational prior to any soil disturbance.
- Appropriate erosion and sediment controls shall be installed in accordance with Development Control Plan 2014.
- All disturbed areas shall be revegetated or rendered erosion resistant in accordance with Development Control Plan 2014 Guidelines – Erosion Prevention and Sediment Control Guidelines as soon as practical, and no later than the timeframes specified in Managing Urban Stormwater: Soils and Construction The Blue Book 4th Edition, Landcom, 2004.

Existing Trees

- Refer to Arborist Report, if available, for specifications for all existing trees.
- The existing trees to be retained on site are to be protected by surrounding with a 1.8m high chainmesh fence 3.00m from the base of the tree.
- This fence is to be erected prior to works commencing on site and is to be retained until all building works are completed.
- The enclosed area is to remain free of materials, machinery, vehicles or site sheds.

Initial Preparation

- The planting area must be free from any existing grass, particularly couch grass. Mechanical removal to be employed prior to planting and mulching.
- Excess soils and contaminated soil are to be removed within the guidelines of the council requirements to approved sites.
- Refer to Arborist Report for the location of existing trees to be removed and protection of existing trees to be retained.

Licensed Contractor

- All landscape works shall be implemented under the full supervision of a contractor with a current NSW Department of Fair Trading endorsed license in Structural Landscaping.

Soil Preparation

- Cultivate all subsoil areas to a depth of 150mm.
- Cultivate garden depth to 200mm and 100mm depth in all lawn areas; add a clay breaker to all garden areas.
- In all areas where fill is required, gain required levels using an organic soil mix.
- Remove excess clay, where required, to allow for addition of 200mm depth of premium organic garden soil to garden areas and 100mm depth of topsoil to lawn areas.
- Ensure all garden and lawn areas drain adequately (surface and subsurface) and are set at the recommended finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow.
- Ensure soil levels are set to allow for the addition of turf and mulches to specified requirements.

Planting of Trees, Shrubs, Grasses and Groundcovers

- Landscape works shall conform to planting densities as scheduled with all plants at nominated pot sizes and spacing's and be maintained for a minimum of 52 weeks to achieve continuous healthy growth.
- Ensure plants are installed within 24hrs of delivered.
- Set out plants as indicated on Planting Plans (refer to Sheets DA03) & Construction Details (refer to Sheet DA04).
- Add fertilizer, followed by 100mm of garden soil shall be placed into the base of hole and lightly consolidated.
- Base of stem shall finish flush with finished soil level.
- Thoroughly water all plants on first planting to soak soil of plant and surrounding soil so as to allow roots to adjust, do not allow drying out.
- Water regular over the first 3-4 weeks.
- Suppress all new weeds, within planting areas, that may arise throughout the contract.

Mulching

- Install 100mm minimum of forest mulch over all gardens area (refer to Sheet DA04), to aid plant establishment, covering mulch around all plants keeping away from stems and finishing flush with adjacent surfaces.
- Please Note: Narrow spaces between timber retaining walls and Lot Boundary fencing, where planing is not to occur, are to be mulched as per instructions above.

Turf Areas

- All internal turf areas to have suitable Buffalo 'Matilda' instant turf laid over prepared subsoils.
- Refer to Sheet DA04 for turf area details.

Timber Edging

- Min. 50mm x 100mm H4 treated pine timber edge to be located between all garden/turf areas & gravel/crushed rhyolite areas. Secure to 50mm x 50mm x 450mm hardwood timber pegs with galvanised nails, 2 per fixing.
- Refer to Sheet DA04 for timber edging area details.

Fencing

- Refer to Architect's Documentation for all fencing details.

Excavation & Retaining

- Refer to Engineer's & Architectural Documentation for all excavation & retaining details.
- Only retaining walls indicated on the approved plans shall be constructed under this consent.
- No additional excavation/fill shall occur outside the area as shown on the approved plans.
- No fill or retaining walls shall be located within any drainage easement located upon the subject property.
- Retaining walls, footings and associated drainage works shall be located wholly within the subject property boundaries and shall be connected to the existing stormwater system or other approved stormwater system on the subject property.

Drainage

- Refer to Hydraulic Engineer's Documentation for all drainage details.
- All drainage works shall be carried out in accordance with the approved Construction Certificate plans.

Landscape Compliance Report

- At the completion of landscape works, the consulting landscape architect who prepared the documentation shall submit to the Certifying Authority a Landscape Compliance Report.
- This report shall certify shrub and tree species, pot size, and planting densities and landscape area setout comply with these conditions and approved documentation, and practical completion of the landscaping works has occurred.
- This report shall certify required street trees are planted specifically as per the nominated locations on the approved documentation and these conditions, and have edging constructed as per the Lake Macquarie City Council Landscape Standard Drawings March 2019.
- The Certifying Authority shall not issue the Final Occupation Certificate without receipt of the Landscape Compliance Report.

Maintenance & Handover

- Maintenance of a period of 52 weeks shall be carried out after the submission of the Landscape Compliance Report.
- All landscape works required under this consent shall undergo an establishment maintenance period of a minimum of 52 weeks to achieve the intent of the landscape design.
- All landscaping shall then be permanently maintained in good condition in accordance with the approved landscape plan and the adopted Development Control Plan 2014 Guidelines – Landscape Design Guidelines.
- All landscape works shall be carried out/overseen by members of Landscape NSW & ACT Master Landscapers Association and implemented under the full supervision of an appropriately qualified landscape contractor.
- All landscape works to be maintained to achieve continuous healthy growth improving amenity and aesthetics over the site and meeting the aims for the development in the zone.
- Satisfy council that all landscaping work has been undertaken in strict accordance with council's landscape codes and guidelines.
- At the completion of landscape works and prior to the issue of the Occupation Certificate a Landscape Compliance Report is required that establishes satisfactory completion of the landscape works approved.
- This report shall state the actual maintenance carried out on site, including maintenance records such as site work report sheets, diary entries or log books which show frequency of watering, weeding, mulching, personnel and any other remediation or rectification works carried out.
- Carry out the following during the maintenance period (determined by Builder). These works shall include but not limited to watering, weeding, fertilizing, pest and disease control, re-turfing, staking and tying, replanting, cultivation, pruning, aerating, renovation, top dressing and the like.

Specifications Notes



Department of Planning,
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Approved on: 1 April 2025

Signed: BM

Sheet No: 13 of 19



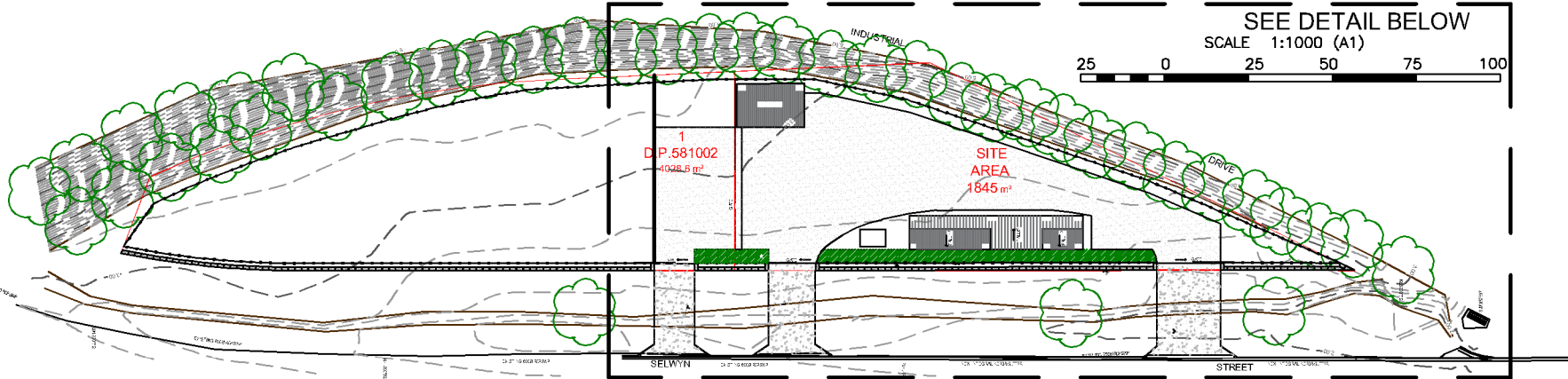
DEVELOPMENT APPLICATION. NOT FOR CONSTRUCTION.

rev no:	date:	comments:	by:	by:	verified:		Landscape Consultants Declaration	Project:	Site:		WORK TO FIGURED DIMENSIONS IN PREFERENCE TO SCALE CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS.
0	16/07/2023	Issued for Development Application only, Not for construction.	GE		Yes		This projects is designed to meet with NCC DCP requirements for Category 2 Landscape Design <i>Gary Edwards</i> Gary Edwards Bachelor of Landscape Architecture (2000 University) Certificate of Horticulture (1991 Orange TAFE)	Selwyn Street Industrial	20 Selwyn Street MAYFIELD EAST NSW 2304	<div><div>Gary Edwards</div><div>The Garden Craftsman</div></div>	Drawn: Scale @ A1: Page no: Print date: GE Refer to each detail DA05 21/8/23
								Client: JBC Family Nominees Pty Ltd	Drawing: Site Construction Notes	Email, thegardencraftsman@gmail.com	Concept: Project no: GE 2305HarmanSelwyn Issue no: A

- 1 DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF COUNCIL'S DCP, CONSTRUCTION SPECIFICATION AND STANDARD DRAWINGS WHERE APPLICABLE.
- 2 ALL WORK IS TO BE IN ACCORDANCE WITH AS 3500.3:2018
- 3 ALL EXISTING SERVICES INCLUDING EXISTING DRAINAGE STRUCTURES AND PIPES ARE TO BE LOCATED PRIOR TO WORK COMMENCING
- 4 U-PVC PIPES TO BE SEWER GRADE DWV TO AS1260:2017
- 5 MINIMUM PIPE FALLS: 1.0%
- 6 DOWNPIPE & RAINWATER TANK LOCATIONS ARE DIAGRAMATIC ONLY AND FINAL LOCATIONS TO BE DETERMINED ONSITE BETWEEN THE PLUMBER AND THE OWNER.
- 7 TANK MANUFACTURER, TYPE AND STYLE ETC TO BE NOMINATED BY THE CLIENT AT CC STAGE. MINIMUM NOMINATED CAPACITY TO BE INSTALLED.
- 8 ALL PIPES TO BE 100Ø UPVC UNLESS NOTED OTHERWISE ON PLAN
- 9 SEDIMENT AND EROSION CONTROLS TO BE PROVIDED IN ACCORDANCE WITH ALL LOCAL AND STATUTORY REGULATIONS
- 10 REFER TO ARCHITECT FOR BUILDING AND DRIVEWAY SETOUT
- 11 PIPE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON SITE AND SHALL CONFORM WITH THE INTENT OF THIS DESIGN.
- 12 THE ENGINEER SHALL BE ADVISED IF ANY EXISTING STRUCTURES ARE WITHIN THE ZONE OF INFLUENCE OF ANY EXCAVATION. ANY REQUIRED UNDERPINNING OR PIERING SHALL BE PROVIDED
- 13 WHERE EXCAVATING ADJACENT TO BOUNDARIES ADEQUATE SHORING SHALL BE PROVIDED
- 14 THE CONTRACTOR SHALL ENSURE THAT ALL NEW STRUCTURES ARE FOUNDED BELOW THE ZONE OF INFLUENCE OF ANY EXCAVATIONS WHETHER THEY BE FOR PIPELINES, TANKS OR OTHER DRAINAGE FACILITIES
- 15 UNLESS NOTED OTHERWISE, THE MAXIMUM DEVIATION FROM NOMINATED LEVELS SHALL BE +/- 10MM, EXCEPT IN INSTANCES WHERE SUCH A DEVIATION COULD HAVE ADVERSE EFFECT, IN WHICH CASE, THE DESIGNER SHALL BE CONSULTED
- 16 LOAD CLASS FOR COVERS/GRATES SHALL BE IN ACCORDANCE WITH AS3996 - 1992. COMMON CASES FOR RESIDENTIAL SITES ARE SUMMARIZED IN THE FOLLOWING TABLE:

CLASS	LOADING	DESCRIPTION
A	10 KN	INACCESSIBLE TO VEHICLES. PEDESTRIAN TRAFFIC ONLY.
B	80 KN	FOR USE ON FOOTPATHS OR FOOTWAYS WHERE IT IS POSSIBLE FOR LIGHT VEHICLES OR LIVESTOCK TO USE PEDESTRIAN FACILITY.
C	150 KN	FOR USE IN PEDESTRIAN ACCESS WITH OCCASIONAL MOTOR VEHICLES WITH WHEEL LOADS NOT EXCEEDING 3.7 TONNES. OR FOR USE IN MINOR RESIDENTIAL ROADS & CUL-DE-SACS CARRYING SLOW MOVING COMMERCIAL VEHICLES (GENERATING NO IMPACT LOADING) WHERE WHEEL LOADS WILL NOT EXCEED 7.5 TONNES

- 17 UNTIL COMPLETION OF ALL WORKS, THE CONTRACTOR SHALL FIRSTLY FILTER ALL STORMWATER IN ACCORDANCE WITH APPROVED DETAILS TO ENSURE THE REMOVAL OF ALL CONCRETE AND PLASTERING FINES, AND OTHER BUILDING SITE POLLUTANTS.
- 18 THE CONTRACTOR SHALL ADEQUATELY SHIELD PIPES AGAINST CONSTRUCTION AND PERMANENT LOADS, WHERE ADEQUATE COVER CANNOT BE PROVIDED, PIPES SHALL BE ENCASED CONCRETE
- 19 UNLESS NOTED OTHERWISE, WHERE A PIT INVERT IS BELOW THE INVERT OF THE LOWEST OUTLET PIPE THE CONTRACTOR SHALL EITHER PROVIDE DRAINAGE HOLES IN THE BASE OF THE PIT OR ELSE FILL THE BASE OF THE PIT WITH MASS CONCRETE TO THE INVERT OF THE LOWEST OUTLET PIPE
- 20 WHERE REQUIRED BY REGULATIONS, STEP IRONS IN ACCORDANCE WITH AS1657 SHALL BE INSTALLED IN DEEP PITS/TANKS TO ALLOW ACCESS FOR MAINTENANCE. PIT COVERS OVER DEEP PITS SHALL BE 'CHILD-PROOFED' BY BOLTING THEM DOWN, EXCEPT WHERE THE COVER WEIGHS OVER 30kg.
- 21 ALL IMPERVIOUS SURFACES SHALL BE GRADED SUCH THAT THEY ARE FREE DRAINING
- 22 YARD PITS SHALL BE PROVIDED AS REQUIRED. YARDS SHALL BE GRADED TO FALL TO PITS UNLESS INTRICATE OTHERWISE (EG. BY DESIGN CONTOURS, SPOT LEVELS OR A NOTE)
- 23 UPON COMPLETION, PIPE/PIT EXCAVATIONS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY EQUIVALENT TO THE SURROUNDING NATURAL MATERIAL
- 24 WHERE REQUIRED BY THE PRINCIPAL CERTIFY, WORK-AS-EXECUTED DETAILS SHALL BE PREPARED BY A REGISTERED SURVEYOR/CHARTED PROFESSIONAL ENGINEER VERIFYING THAT THE DRAINAGE SYSTEM HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS, ANY DEVIATION FROM THE APPROVED PLANS SHALL BE NOTED AND BROUGHT TO THE ATTENTION OF THE DESIGNER. ADEQUATE INSPECTIONS SHOULD BE CARRIED OUT DURING THE COURSE OF CONSTRUCTION
- 25 WHERE CERTIFICATION WILL BE REQUIRED, THE DESIGNER SHALL BE CALLED ON TO INSPECT THE WORKS PRIOR TO ANY CONCRETE POURS, PRIOR TO BACKFILLING AROUND ANY TANKS, AND AT THE COMPLETION OF WORKS, THE DESIGNER SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE BEFORE AN INSPECTION IS REQUIRED
- 26 ANY PROPOSED ALTERATIONS TO THE DETAILS SHOWN ON THE DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER FOR APPROVAL
- 27 LEAF SCREENS, SILT CONTROLS AND ANY OTHER POLLUTANT CONTROL DEVICES SHALL BE REGULARLY SERVICED TO ENSURE THAT THE DRAINAGE SYSTEM REMAINS UNBLOCKED AND OPERATED AS ORIGINALLY INTENDED
- 28 OVERLAND FLOW PATHS SHALL BE REGULARLY MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO THE FLOW OF WATER
- 29 SUBSOIL DRAINAGE LINES SHALL BE PROVIDED BEHIND RETAINING WALLS AND OTHER AREA AS REQUIRED TO RELIEVE HYDROSTATIC PRESSURE AND DRAIN GROUND WATERS. CONNECT INTO THE DRAINAGE SYSTEM IN SUCH A WAY AS TO AVOID BACKFLOW OF STORMWATER INTO THE SUBSOIL DRAINAGE LINE. IF IN DOUBT REFER TO ENGINEER
- 30 NEW FENCES, RETAINING WALL AND OTHER LANDSCAPING ITEMS SHALL BE DETAILED IN SUCH A WAY SO AS TO AVOID IMPOUNDING OR DIVERTING SURFACE WATERS ONTO ADJOINING PROPERTIES.



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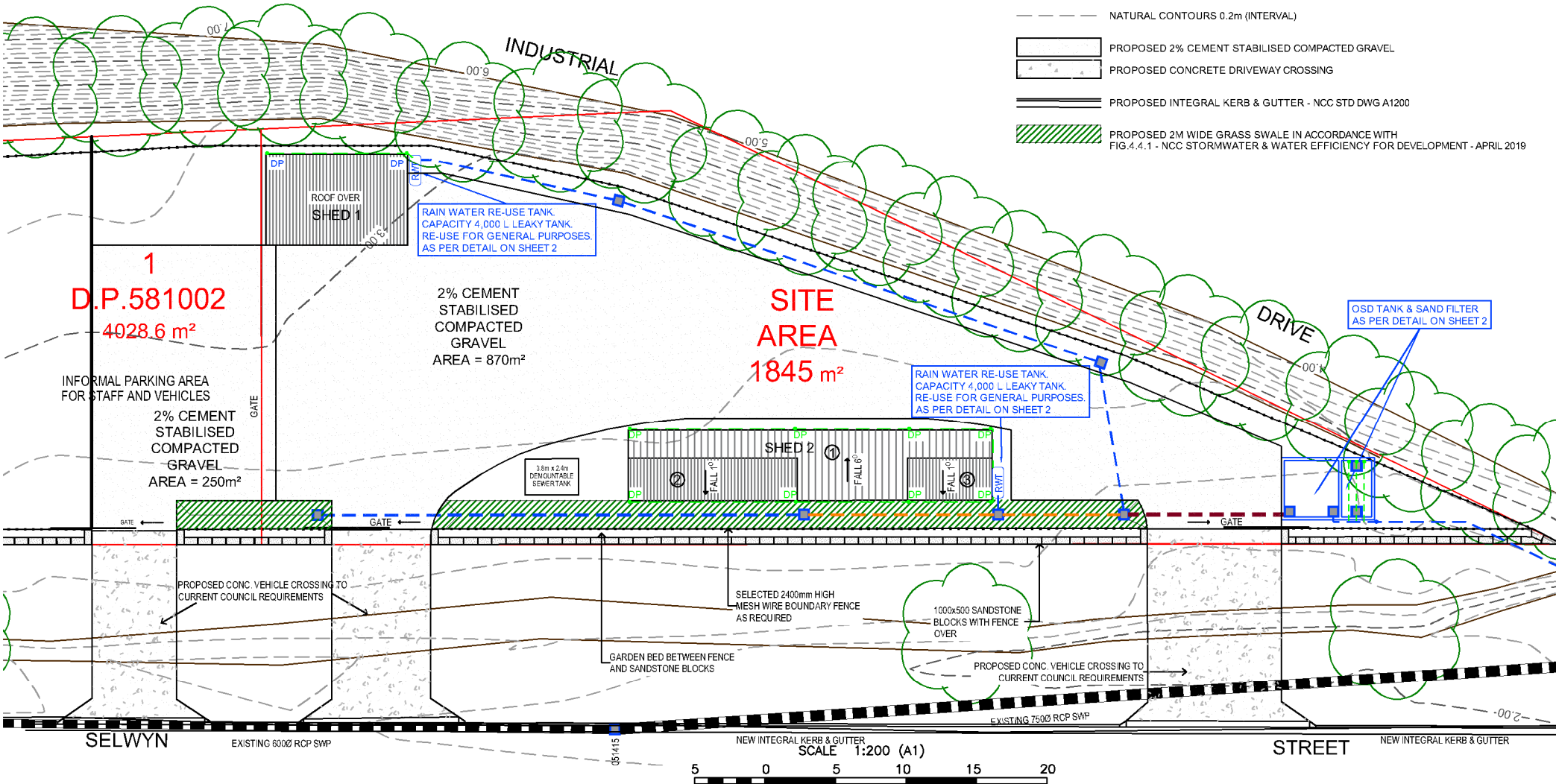
Approved on: 1 April 2025

Signed: BM

Sheet No: 14 of 19

LEGEND:

- 90mm Ø PVC SWP
- 150mm Ø PVC SWP
- 225mm Ø PVC SWP
- 300mm Ø RCP SWP
- GRATED SURFACE INLET PIT
- RWT RAINWATER RE-USE TANK - AS NOMINATED SEE DETAIL SHEET 2
- DP DOWN PIPE - COLOUR INDICATES SIZE (COLOUR INDICATES NOMINATED DIAMETER)
- NATURAL CONTOURS 1.0m (INTERVAL)
- NATURAL CONTOURS 0.2m (INTERVAL)
- PROPOSED 2% CEMENT STABILISED COMPACTED GRAVEL
- PROPOSED CONCRETE DRIVEWAY CROSSING
- PROPOSED INTEGRAL KERB & GUTTER - NCC STD DWG A1200
- PROPOSED 2M WIDE GRASS SWALE IN ACCORDANCE WITH FIG 4.4.1 - NCC STORMWATER & WATER EFFICIENCY FOR DEVELOPMENT - APRIL 2019



E	CAR PARKING AREA ADDED	12/03/25
D	COUNCIL RFI	28/11/24
C	COUNCIL RFI	12/11/24
B	DRAINS MODELLING UNDERTAKEN	17/04/24
A	INITIAL ISSUE	15/12/22
Ed.	Details of Revisions	Date

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Origin: --
Designed: B.B.
Checked: B.B.
Job Number: 6759
Datum: AHD
Contour Int: -
Drawn: AW
Approved: J.H.
Drawing File: 6759-Hydro-5

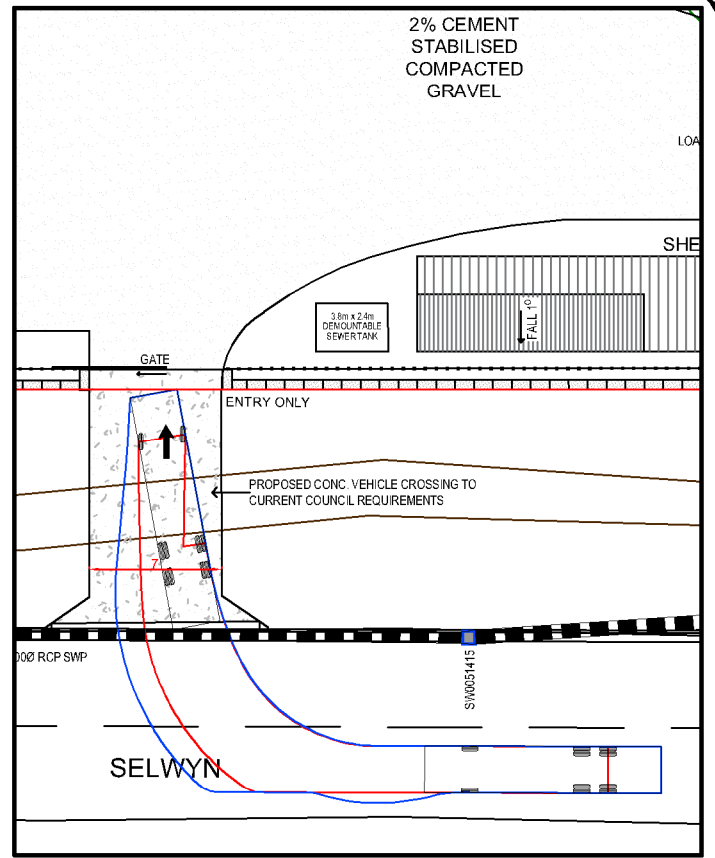
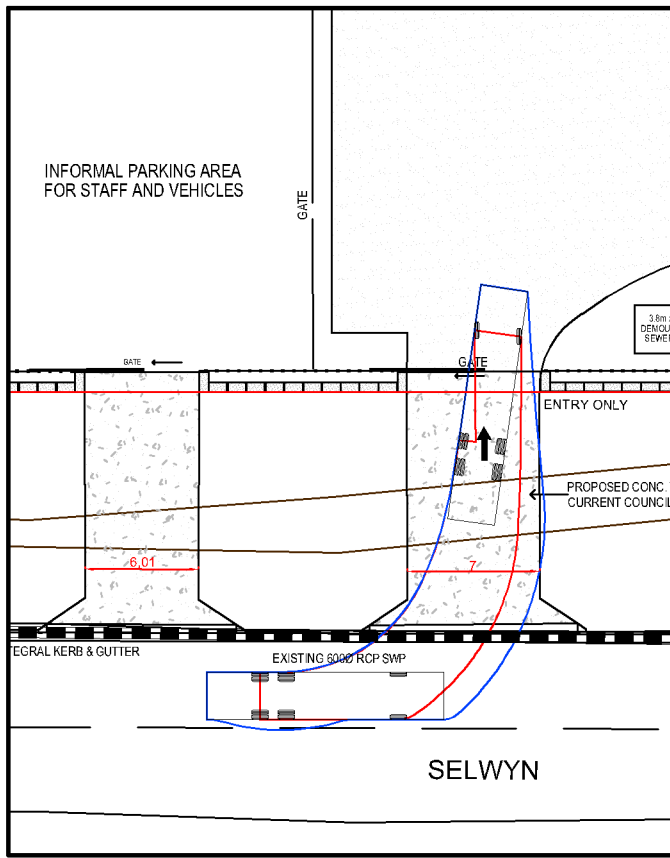
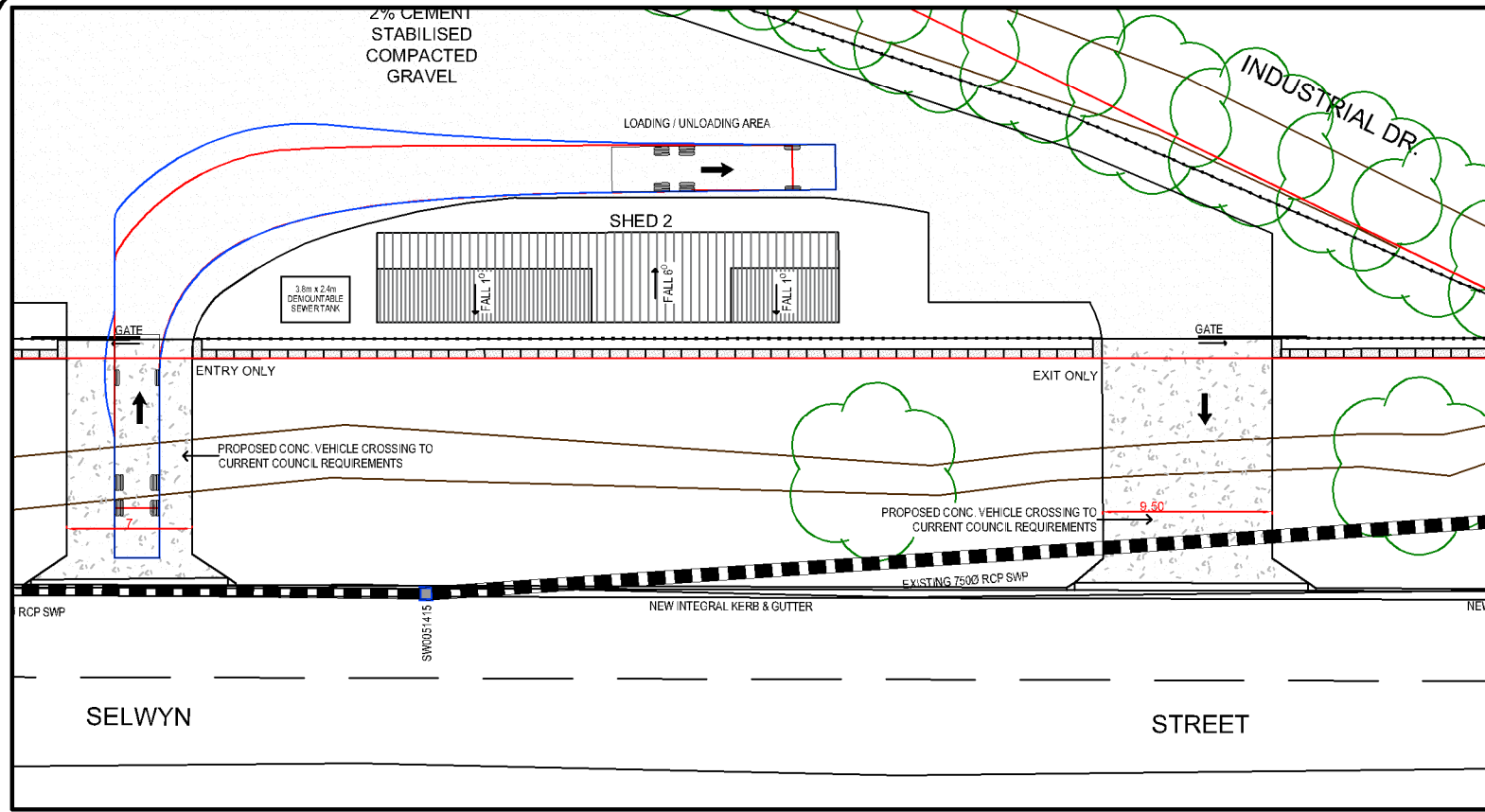
Registered Surveyor:

Surveying • Planning • Engineering
PO Box 853 THE JUNCTION NSW 2291
Phone: (02) 4963 5520 Fax: (02) 4963 5521
E-mail: mail@lds.net.au
ABN: 42 110 897 928

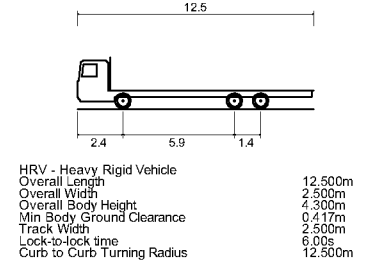


STORMWATER MANAGEMENT PLAN
No.20 SELWYN STREET
MAYFIELD

Drawing Number	Edition
1	E
Sheet 1 of 2	



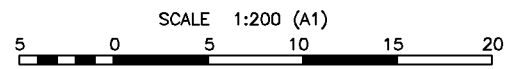
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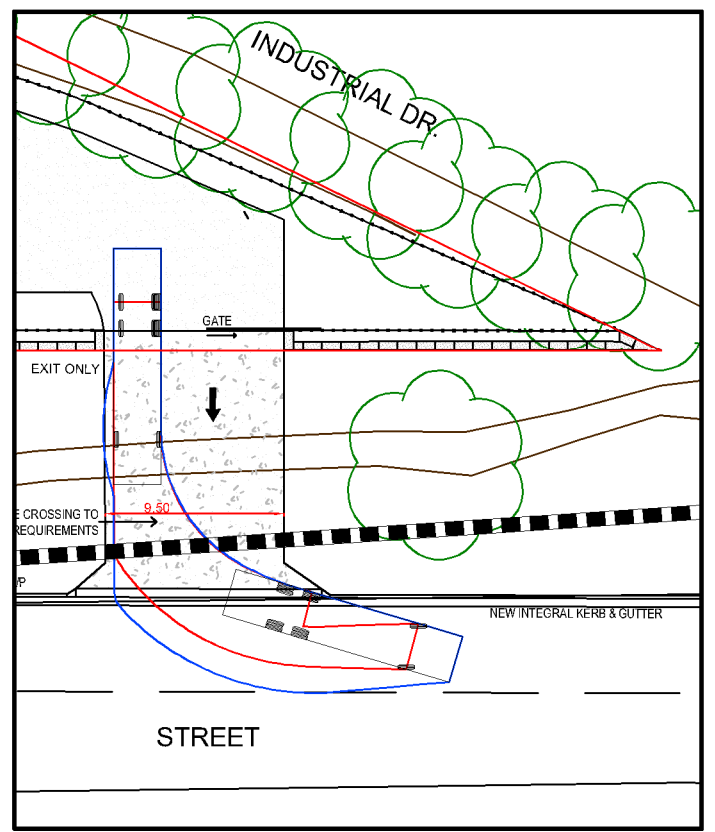
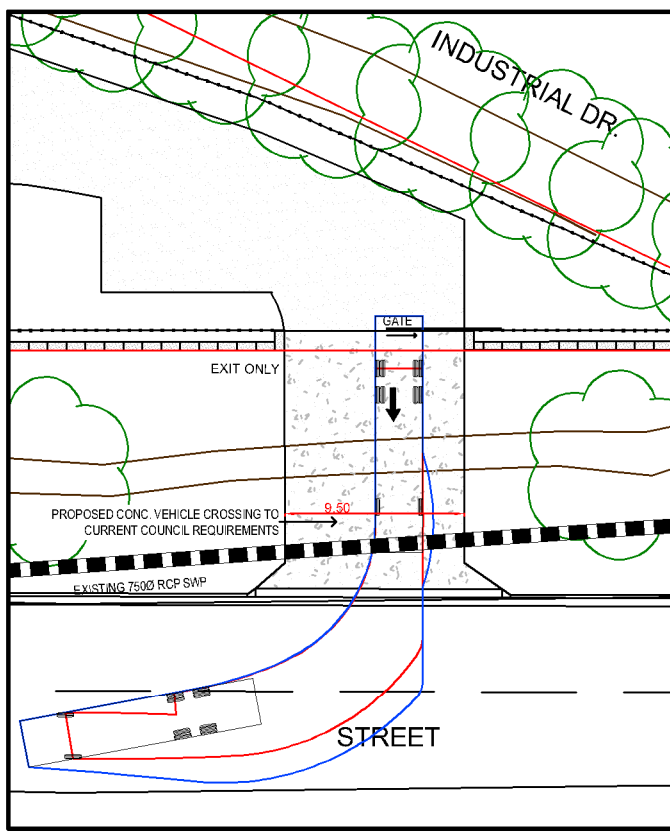
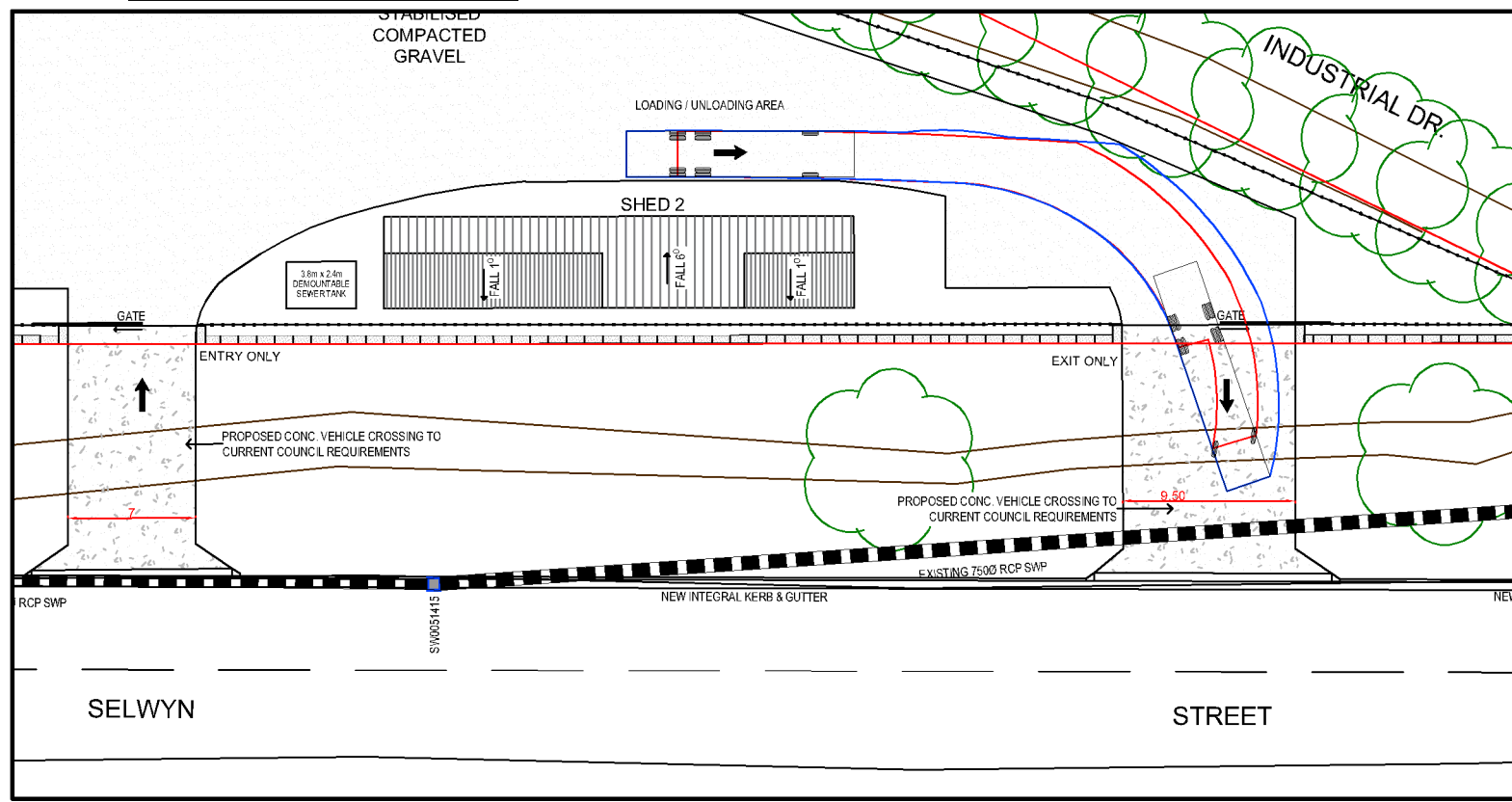
INWARD MOVEMENTS

LEGEND

- WHEEL PATH
- BODY OVERHANG



OUTWARD MOVEMENTS



B A	COUNCIL RFI INITIAL ISSUE - COUNCIL RFI	28/11/24 12/11/24
Ed.	Details of Revisions	Date

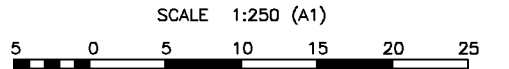
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Approved: J.H.
Drawing File: 6759-Traffic:MP-2
Registered Surveyor:

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TRAFFIC MANAGEMENT PLAN
HRV - TURNING PATHS
No.20 SELWYN STREET
MAYFIELD

Drawing Number	1	Revision	B
Sheet 1 of 1			




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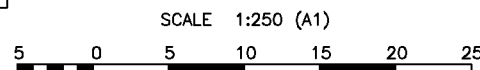
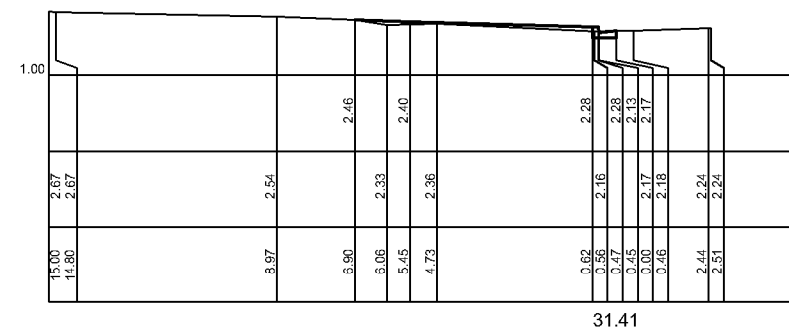
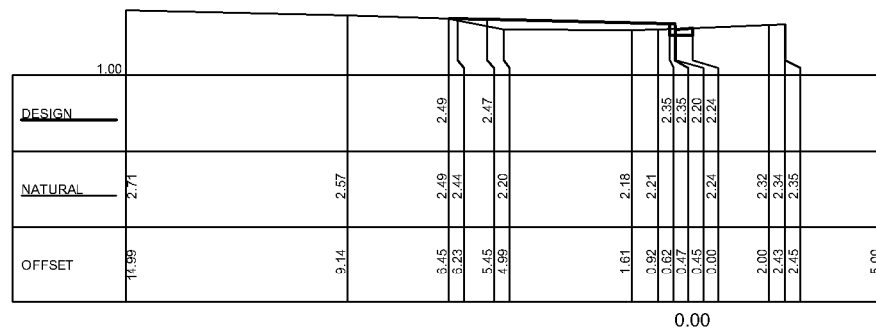
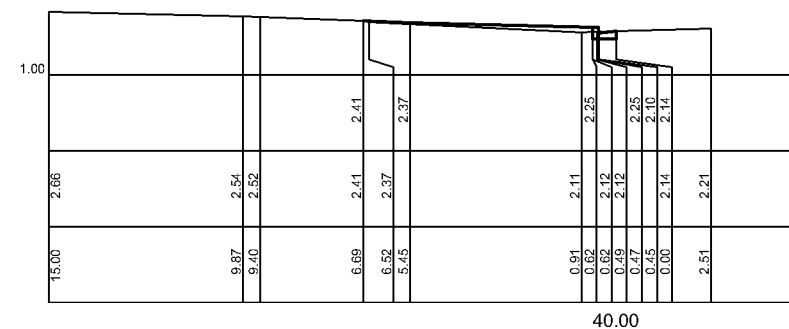
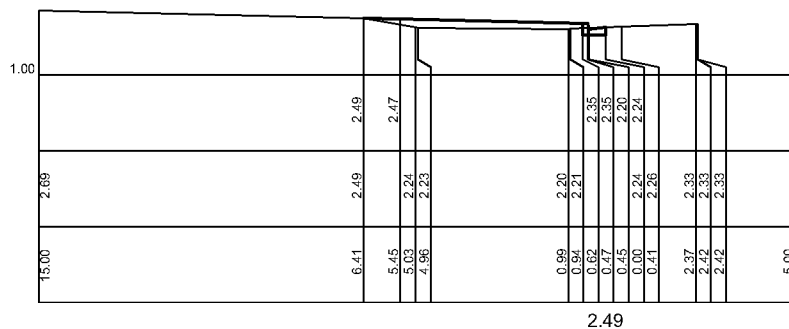
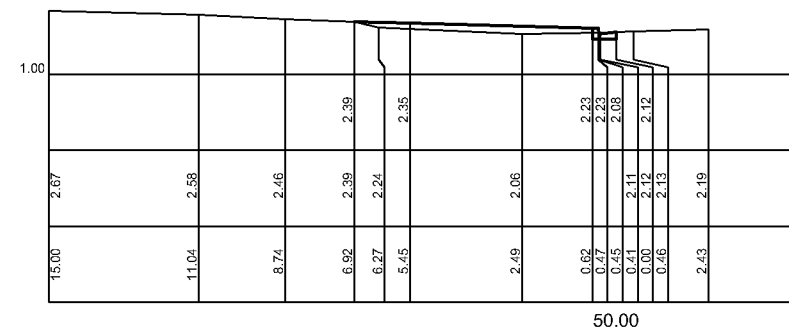
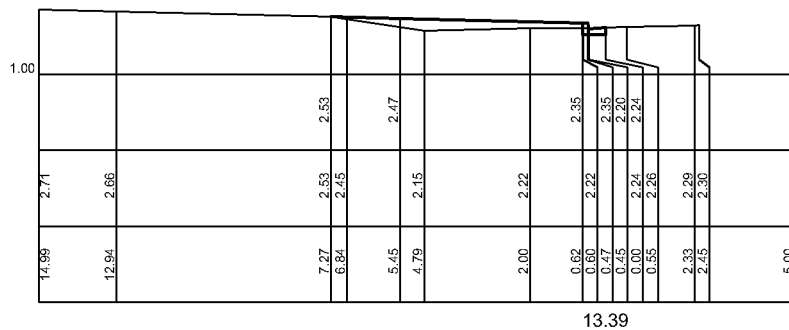
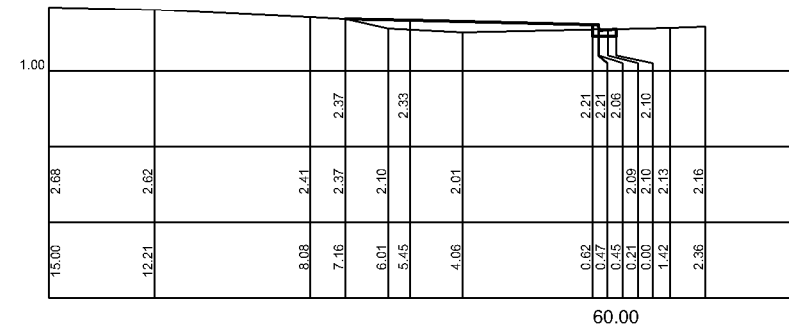
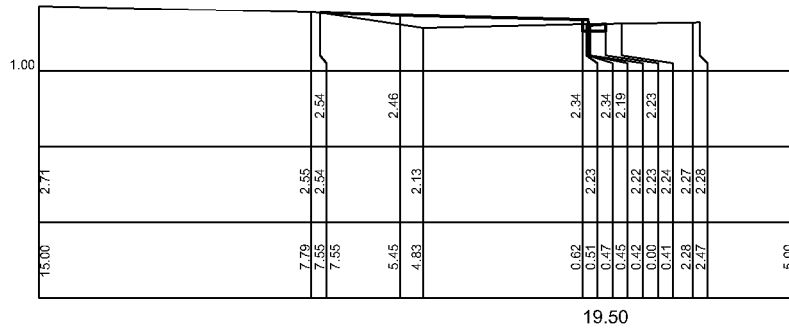
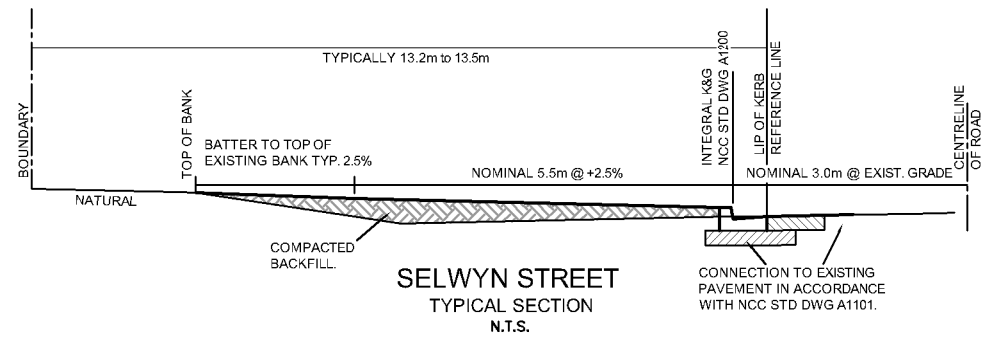
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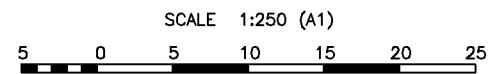
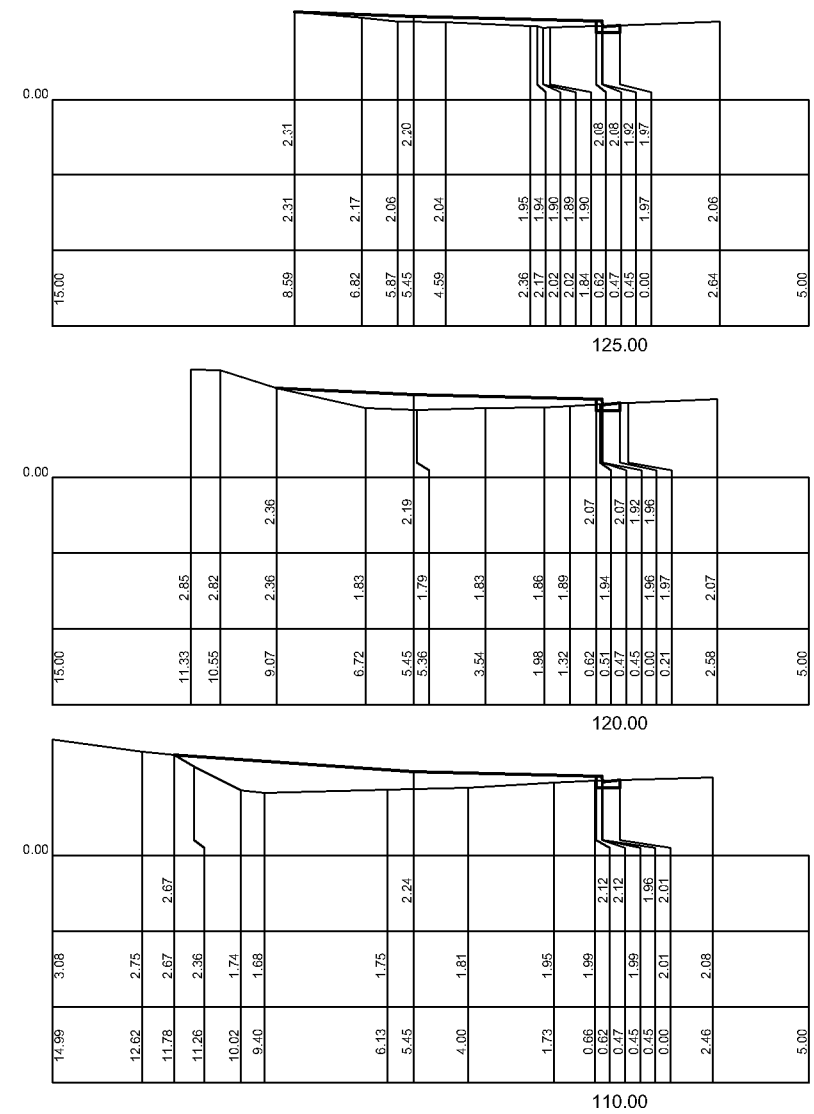
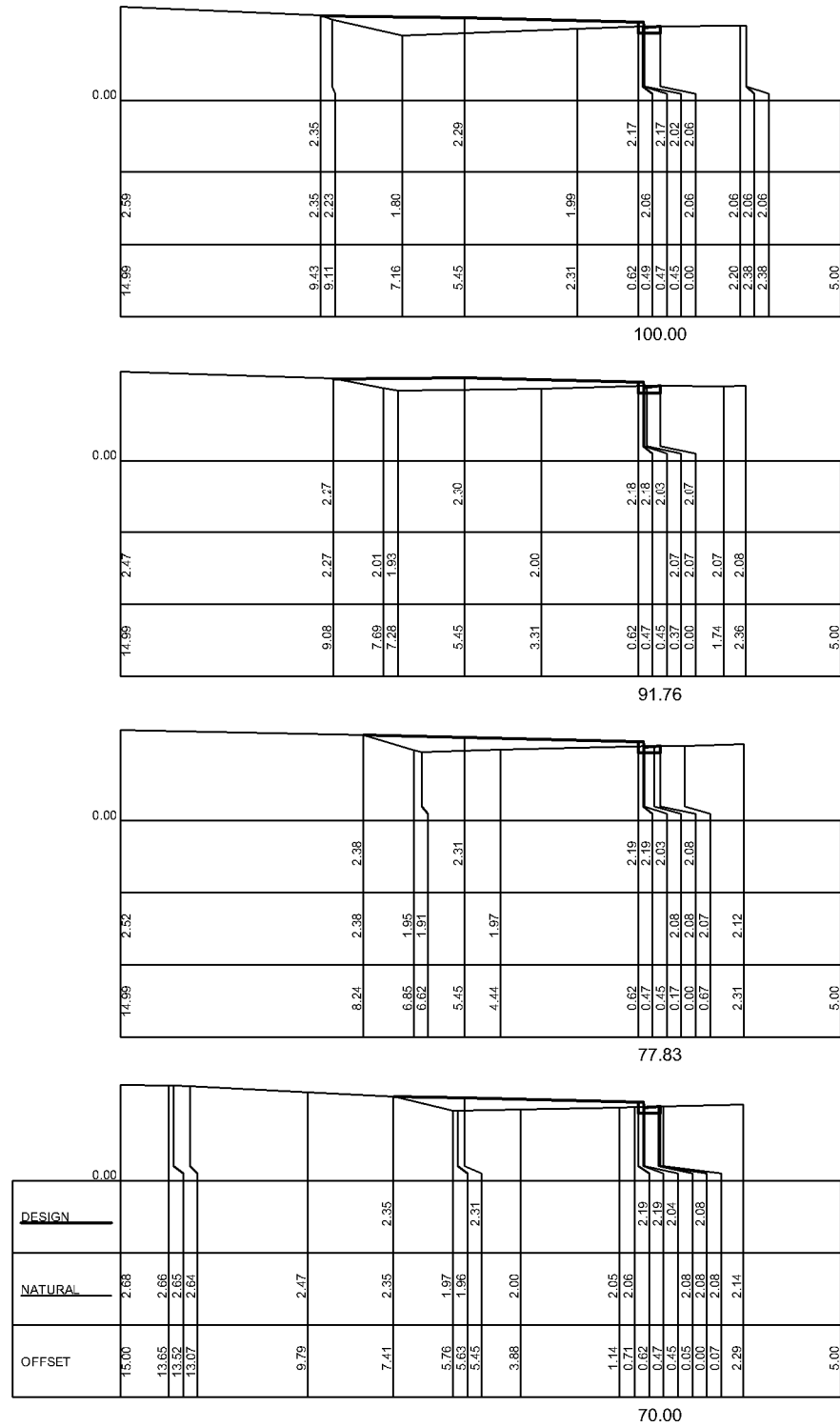
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LONGITUDINAL SECTION - DRIVEWAY-1

LONGITUDINAL SECTION - DRIVEWAY-2

LONGITUDINAL SECTION - DRIVEWAY-3






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Client / Council Development Consent Number

Scale: AS SHOWN (A1)
Origin: -
Designed: B.B.
Checked: B.B.
Job Number: 6759
Datum: AHD
Contour Int: -
Drawn: AW
Approved: J.H.
Drawing File: 6759-Roadworks-1
Registered Surveyor:

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**PRELIMINARY CROSS SECTIONS,
SELWYN STREET - 2
No.20 SELWYN STREET
MAYFIELD**

Drawing Number	Edition
3	A
Sheet 3 of 3	

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